

TITLE:

County Roads Realty Headhouse

ADDRESS:

730 Buck Rd, Monroeville, NJ, 08343

OWNER:

Country Roads Realty, LLC

Date:

March 28, 2025

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Deligated Design By Owner:

Civil

(Pennoni Associates Inc. - (856) 547-0505)

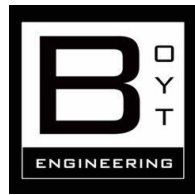
Access Control & Security

Deferred Submittal And Shall Be Provided By Owner

DESIGN TEAM:



Architect:
Premier Architecture Design and Build, LLC
375 S. Williams St Murphysboro IL, 62966
618-687-3900



MEP Engineer:
Boy Engineering
400 N Market St, Marion IL, 62359
618-964-9418



Structural Engineer:
4g Engineering, LLC
1209 Hausman Rd, Suite A, Allentown, PA 18104
610-730-2221

Building Codes:

Local Adopted County Codes:

- International Building Code, New Jersey Edition; 2021 Ed.
- National Standard Plumbing Code, New Jersey Edition; 2021 Ed.
- National Electrical Code (NFPA 70); 2020 Ed.
- International Mechanical Code (IMC); 2021 Ed.
- International Fuel Gas Code (IFGC); 2021 Ed.
- International Fire Code, New Jersey Edition; 2015 Ed.
- Energy Code: ASHRAE 90.1-2019 Ed.
- Barrier Free: ICC A117.1-2017
 - Chapter 11 Of IBC; 2021 Ed.
 - NJAC 5:23-7

Federal Codes:

- 2010 ADA

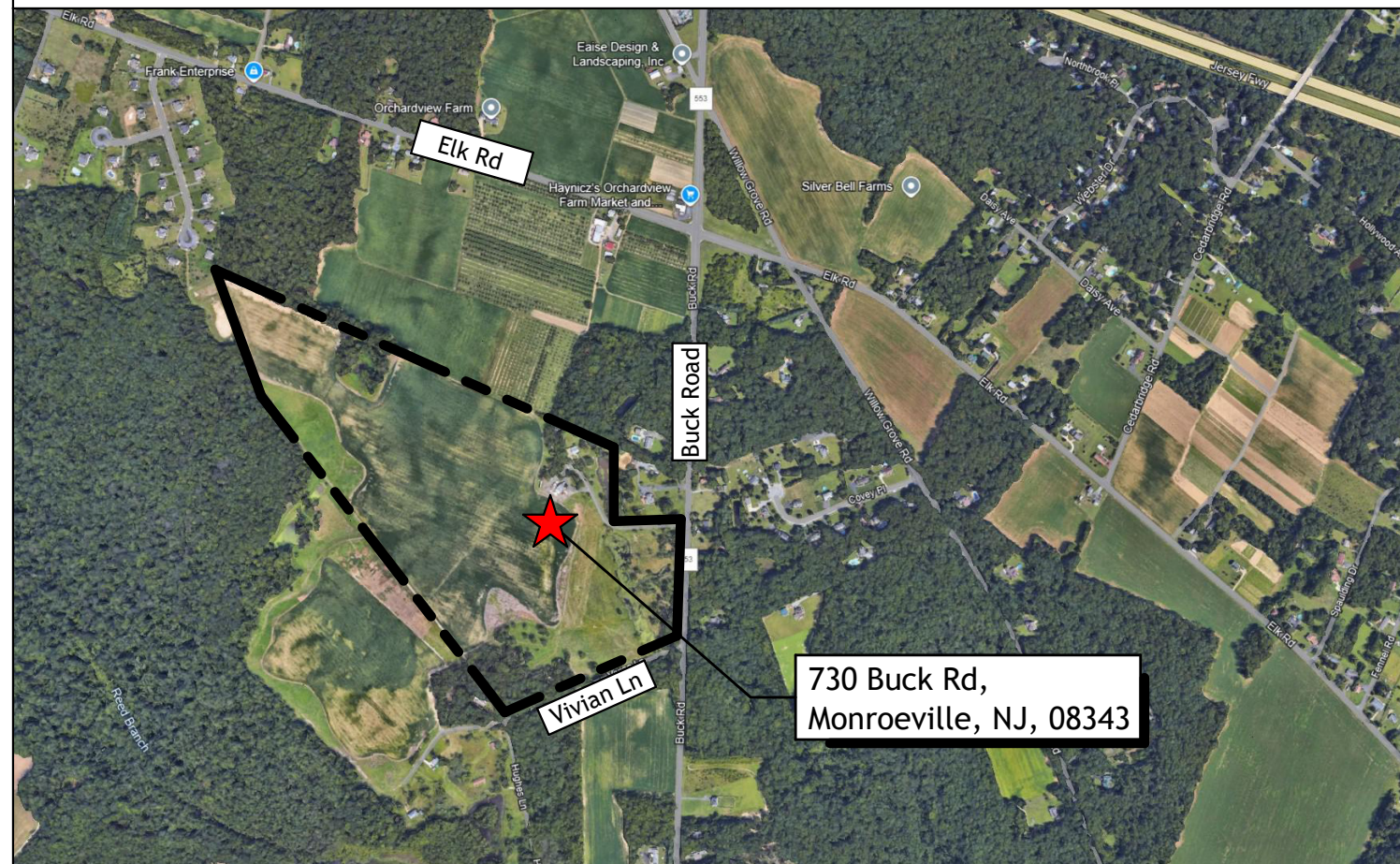
Building Code Information

Use & Occupancy Classification [Sec. 302]:	Mixed Use: Factory 'F1' ; Business 'B'
Type of Construction [Table 601]:	Type 2B
Allowable Height & Area [Tables 504.3, 504.4, 506.2]:	Factory (F-1): 55' 2S; 15,500 SF Business (B): 55' 3S; 23,000 SF
Actual Height & Area (Gross):	Factory (F-1): 18'-1S; 13,200 SF Fire Area 1: 11,420 SF Fire Area 2: 1,780 SF Business (B): 18'-1S; 1,800 SF Overall: 18'-1S; 15,000 SF
Automatic Sprinkler System [Sec. 903]:	No; Fire Areas Separated By Fire Barriers Less Than 12,000 SF (RE: IFC Section 901.4.3)
Fire Area Separation [901.4.3]:	See Life Safety A101
Occupancy Load [Sec. 1004]	72 (Refer Life Safety For Calcs.)
Min. Exits [Sec. 1006.3.3] (Per Occupancy 1-500)	2 Required
Exit & Egress Access Doorway Separation [1007.1.1]	152'-0" (Min. 1/2 Overall Diagonal Dim.)
Max. Common Path of Egress Travel (CPET) [Table 1030.8]	75'-0"
Max. Exit Access Travel Distance (EATD) [Table 1006.2.1]	Business (B): 100' (NS) Factory (F-1): 100' (NS)
Egress Exits Provided	4 Provided

Plumbing Code Information

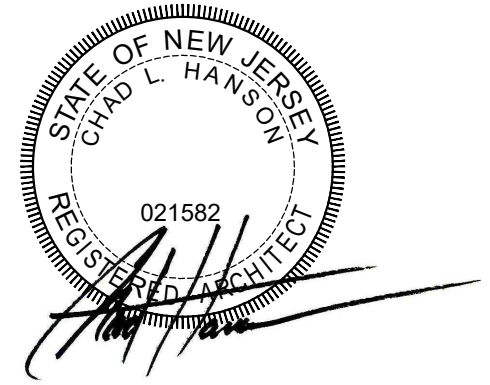
Minimum Number of Plumbing Fixture [Table 7.21.1] (Proposed Occupants Based Off Of Employee Count = 15 Occupants)		
Water Closets	1 per 15 (50% Men; 50% Women)	
Lavs	1 per 15 (50% Men; 50% Women)	
Drinking Fountain	No [7.21.5(b)]	
Service/Mop Sink	1	
Unisex Allowed	Yes [Sec. 7.21.4 (2),(3)]	
Public Restrooms Required	Yes [Sec. 7.21.7]	
Fixture Count Required/Provided		
Water Closets	Required - 2	Provided - 1 Men; 2 Women
Urinals	0	1
Lavatories	2	2 Men; 2 Women
Drinking fountains	0	2 (1 ADA & 1 standard)
Service/Mop Sink	1	1

Area Map



Site:
730 Buck Rd, Monroeville, NJ, 08343

Seal:



Expires 7/31/2025

Country Roads Realty LLC

730 Buck Rd, Monroeville, NJ, 08343

Document Date:
March 28, 2025

Document Phase:
Planning and Zoning

rev. date remark

Drawn By: MG

Cover

G101

Project No.: 24014

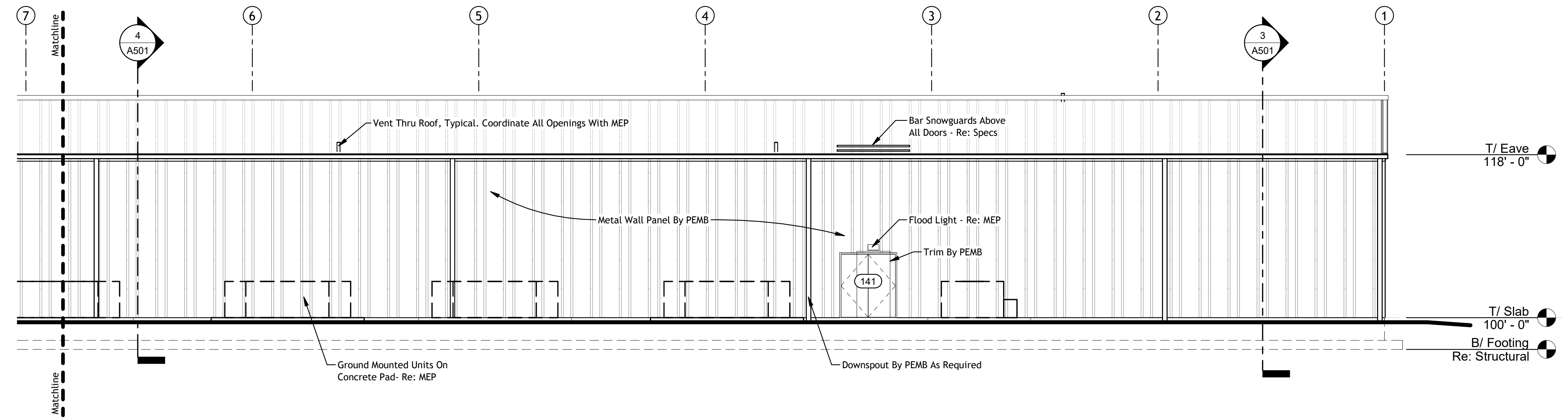
Elevation General Notes

- A. Coordinate with Civil & MEP sheets for locations of equipment and devices.
- B. Hose-bids not shown for clarity. Coordinate with P-Sheets.
- C. Coordinate with MEP for all Lighting locations, including but not limited to wall packs, HVAC units, concrete pads for units, etc.
- D. Grade - Re: Civil.
- E. All downspout discharge shall be coordinated with Civil.

Seal:

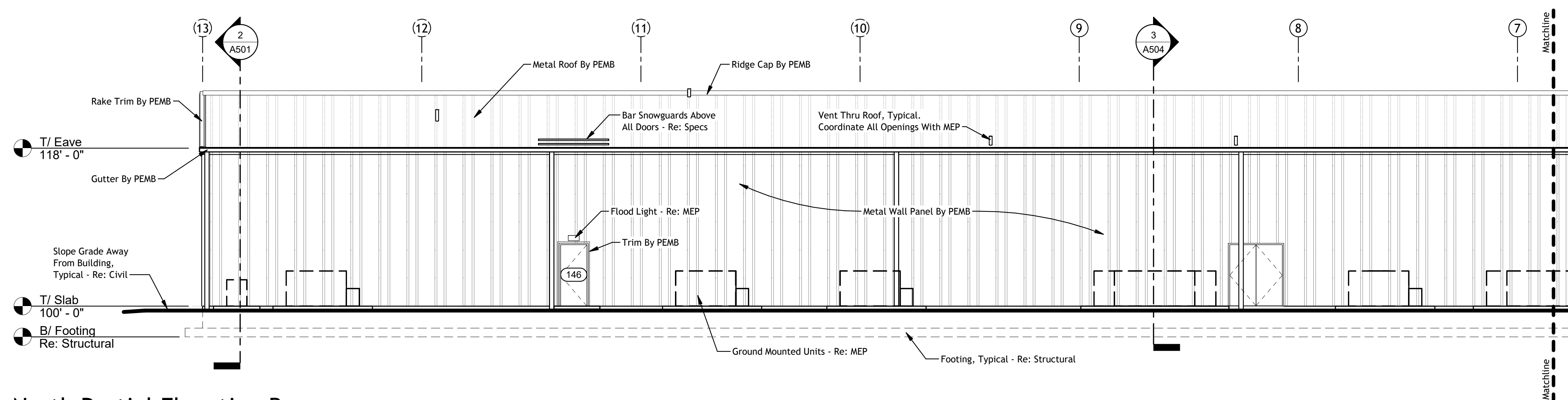


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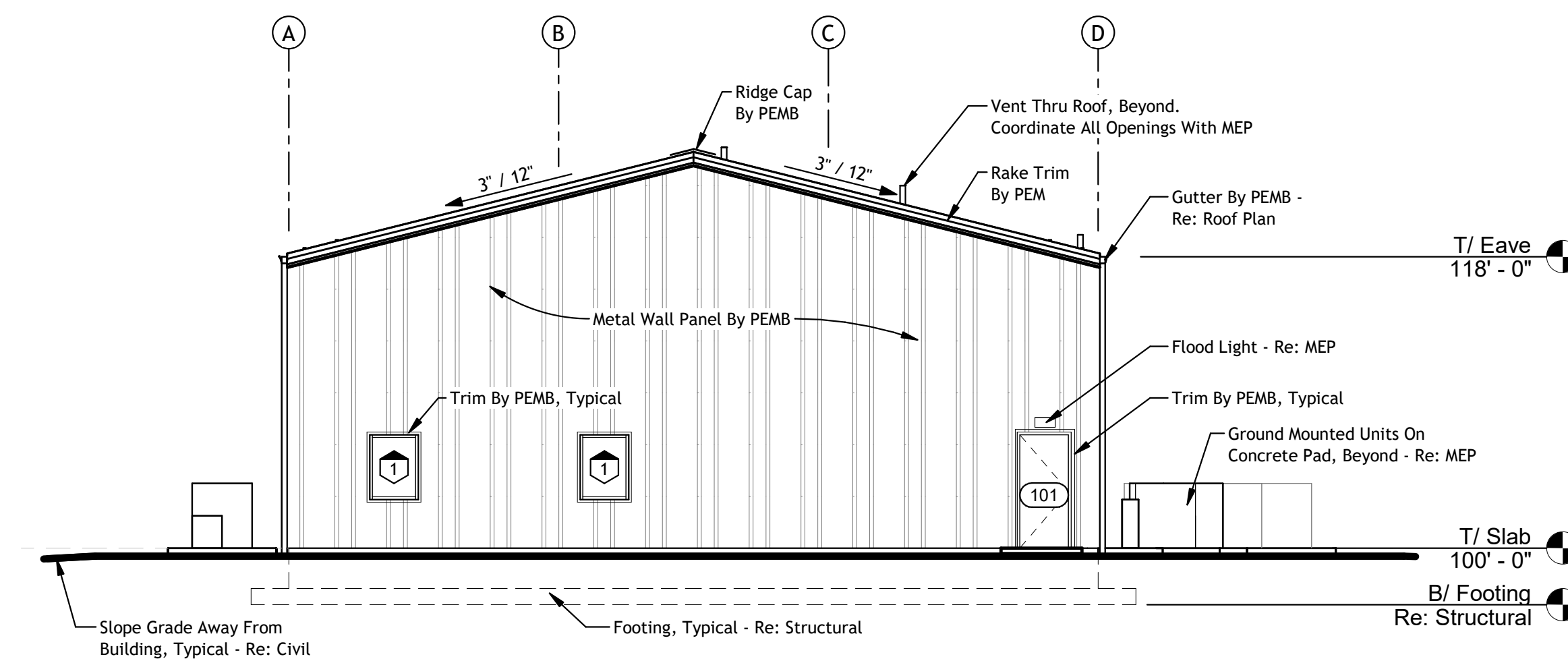
North Partial Elevation A

1 SCALE: 1/8" = 1'-0"



North Partial Elevation B

2 SCALE: 1/8" = 1'-0"



East Elevation

3 SCALE: 1/8" = 1'-0"

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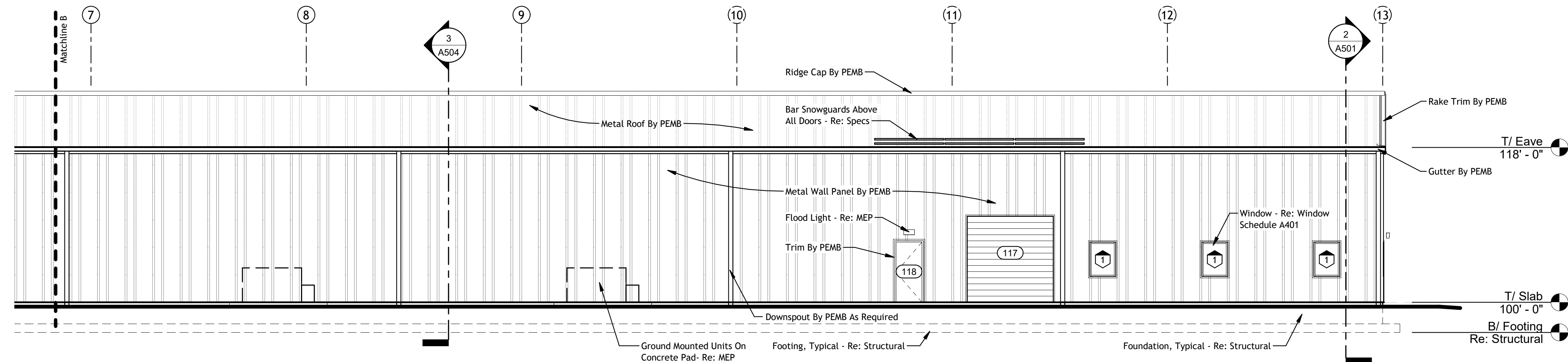
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North & East
Elevation

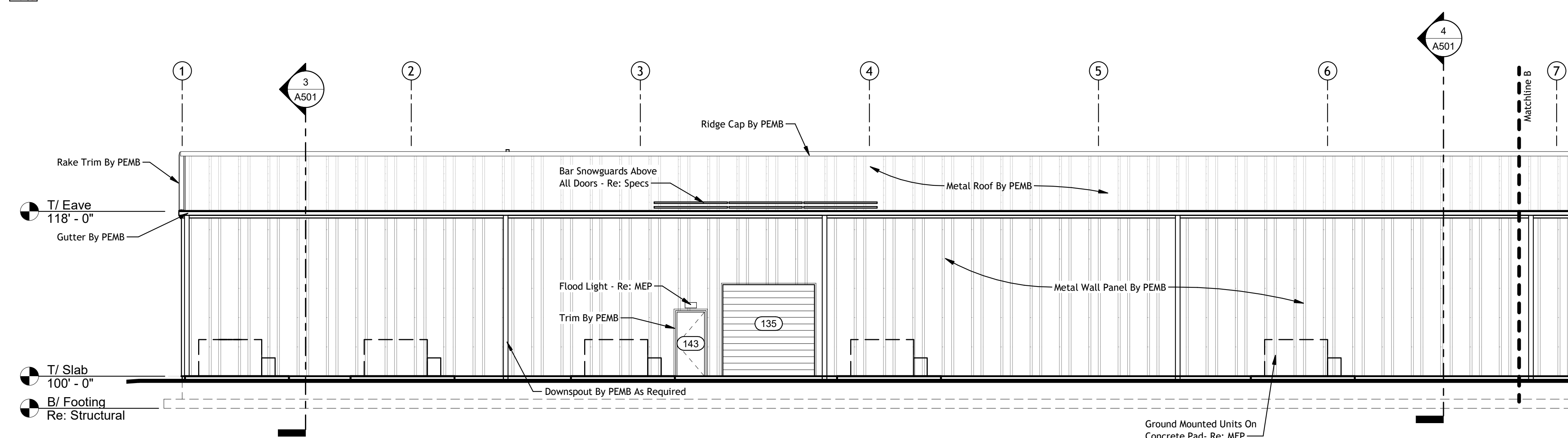
A201

Project No.: 24014



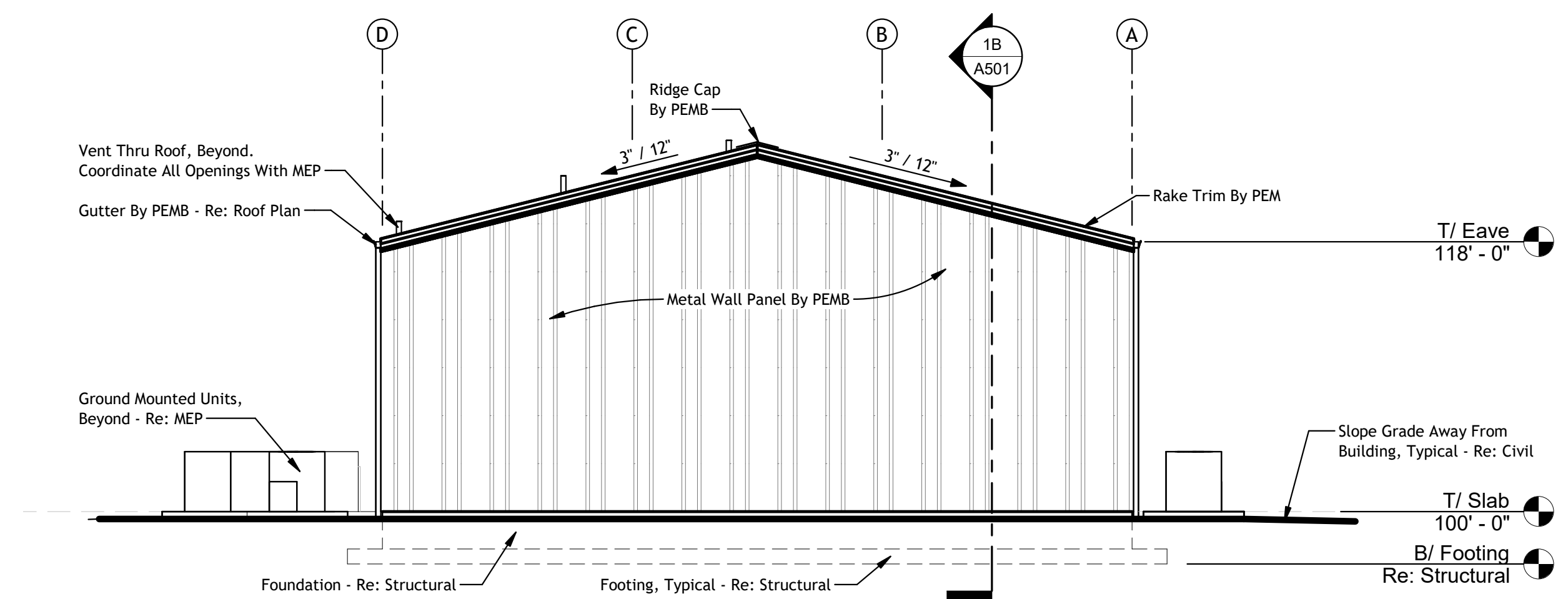
South Partial Elevation A

2 SCALE: 1/8" = 1'-0"



South Partial Elevation B

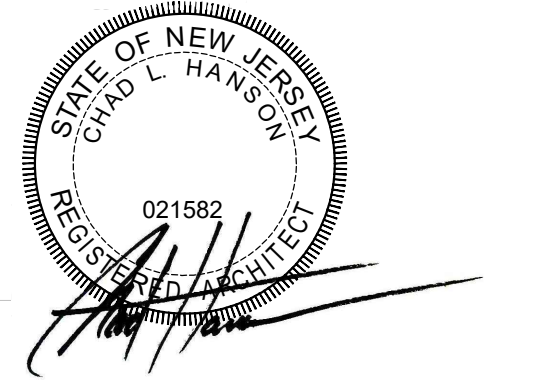
3 SCALE: 1/8" = 1'-0"



West Elevation

1 SCALE: 1/8" = 1'-0"

Seal:



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South & West
Elevation

A202

Project No.: 24014

- ALL WORK IS TO BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES. IF ANY CONFLICT EXISTS THE DEFAULT IS TO THE BUILDING CODE MEETING WITH APPROVAL OF THE AUTHORITY HAVING JURISDICTION. DESIGN INTENT IS TO MEET ASHRAE 62, ASHRAE 90.5, AND AIAA-87-1020 AND NEPA MOST CURRENT EDITION.
- DUCTWORK TO BE INSTALLED IN ACCORDANCE WITH MOST CURRENT EDITION OF SMACNA GUIDELINES.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT/APPLIANCES TO MEET STATE BUILDING CODES FOR VIBRATION ISOLATION & SEISMIC REQUIREMENTS PROVIDE FLEXIBLE CONNECTIONS BETWEEN HVAC UNITS AND SHEETMETAL DUCTWORK.
- MECHANICAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE PROJECT SITE AND BECOMING FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK.
- MECHANICAL CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO THE OWNER PRIOR TO FINAL PAYMENT.
- START-UP SERVICE SHALL BE PROVIDED FOR HVAC SYSTEM. OWNER REPRESENTATIVE SHALL BE TRAINED ON EQUIPMENT INSTALLED.
- CONTRACTOR SHALL PROVIDE ALL EQUIPMENT FOR A FULLY FUNCTIONAL AND OPERABLE COMPLETE SYSTEM. DRAWINGS ARE DIAGRAMMATIC IN NATURE ONLY. CONFIRM ALL DIMENSIONS BY FIELD MEASUREMENT AND ADJUST FOR OBSTRUCTIONS AT NO FURTHER COST TO OWNER.
- All drawings are schematic in nature and indicates the general and approximate locations of equipment, piping, and ductwork.
- DESIGN INTENT IS FOR A COMPLETE AND FUNCTIONAL SYSTEM. DRAWINGS AND NOTES TOGETHER SHALL ACT AS A BASIS FOR DESCRIBING THE SYSTEM FOR THE FACILITY.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS TO PROCEED WITH WORK.
- VERIFY EACH MANUFACTURERS REQUIREMENTS FOR THEIR RESPECTIVE EQUIPMENT. INSTALL EQUIPMENT PER MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.
- ALL DUCTWORK, PIPING, AND EQUIPMENT SHALL MEET THE REQUIRED CODE INSTALLATION SUPPORT REQUIREMENTS FOR THE SEISMIC ZONE OF THE PROJECT LOCATION AND GENERAL REGION. SEE SPECIFICATIONS FOR INSTALLATION.
- DIMENSIONS GIVEN ARE FOR CLEAR INTERIOR CROSS SECTIONAL AREA. RECTANGULAR OR ROUND DUCTWORK MAY BE USED. A HYDRAULICALLY SIMILAR SUBSTITUTE DUCT ARRANGEMENT TO AVOID OBSTRUCTIONS OR CHANGE SPACES MAY BE SUBMITTED TO AND APPROVED BY THE ENGINEER. DUCTWORK IS DESIGNED TO APPROPRIATE 0.08\"/>
- PROVIDE FIRE/SMOKE DAMPERS AT ALL LOCATIONS NOT EXEMPTED BY CODE, WHERE DUCTWORK PENETRATES RATED PARTITIONS AND FLOORS. SEAL ALL RATED PENETRATIONS WITH FIRESTOPPING. COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING FIRE AND SMOKE RESISTANT PENETRATIONS AND ENSURE DAMAGE FROM TESTING DOES NOT REMAIN.
- DAMPERS SHALL BE INCLUDED IN ALL BRANCH TAKEOFFS TO ALLOW FOR A TEST AND BALANCE OF THE AIR SYSTEM. DAMPERS MAY NOT BE SHOWN FOR READABILITY. IT IS THE CONTRACTORS RESPONSIBILITY TO INCLUDE DAMPERS AT TAKEOFFS OR IN DIFFUSERS.
- ALL DIFFUSERS SHALL BE SELECTED WITH FRAME APPROPRIATE FOR CEILING TYPE WHERE SHOWN OR INDICATED BY ARCHITECTOR PCP.
- CONDENSATE DRAINS SHALL BE RUN UNOBTRUSIVELY AS POSSIBLE TO NEAREST SANitary CATCH BASIN OR DRAIN. UNLESS OTHERWISE SHOWN, USE CONDENSATE PUMPS MATCHING NECESSARY RUN DISTANCES AND HEAD LOSSES.
- DUCT TURNING VANES SHALL BE INSTALLED WHERE TURNS EXCEED 45 DEGREES.
- HVAC CONTRACTOR SHALL BALANCE HVAC SYSTEM TO AIR QUANTITIES INDICATED AND PROVIDE REPORT TO OWNER UPON COMPLETION.
- ALL DUCTWORK FOR AIR AT TEMPERATURES BELOW AMBIENT SHALL BE INSULATED AS SPECIFIED
- ALL DUCTWORK SHALL BE INSTALLED AS HIGH AS PRACTICAL, TIGHT TO STRUCTURE ABOVE WHERE POSSIBLE TO MAXIMIZE USABLE CLEARANCE ABOVE CEILINGS THROUGHTOUT.
- THE CONTRACTOR SHALL COORDINATE ALL DUCTS, GRILLIES, AND REGISTERS WITH THE LIGHTS AND STRUCTURE. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF THE STRUCTURE UNDER THE DUCT FUNCTION.
- CONTRACTOR SHALL COORDINATE ALL MECHANICAL EQUIPMENT WITH STRUCTURE AND ARCHITECTURAL DRAWINGS. VERIFY FINAL LOCATION OF EQUIPMENT PRIOR TO INSTALLING.
- Avoid ROUTING DUCTWORK ABOVE ELECTRICAL PANELS AND EQUIPMENT. COORDINATE WITH ELECTRICAL CONTRACTOR FOR PANEL LOCATIONS.
- ALL EQUIPMENT REQUIRING AN ELECTRICAL CONNECTION SHALL BEAR AN APPROPRIATE 3RD-PARTY LABEL FOR THE SPECIFIC APPLICATION OF THE EQUIPMENT.
- ALL CONTROL WIRING SHALL BE FURNISHED AND INSTALLED BY HVAC CONTRACTOR. THERMOSTATS SHALL BE INSTALLED ON WALL -B-AFF-. COORDINATE WITH ELECTRICAL TRADE FOR MOUNTING HEIGHT, FINISH, COLOR, AND ACCESS TO OWNERS/ARCHTCT.
- MULTI-TAP BLOWER MOTORS SHALL HAVE CORRECT TAP CONNECTED TO MEET AIR VOLUME AND HAVE SUFFICIENT STATIC CAPABILITY TO PROVIDE WITHIN 95% OF SCHEDULED TOTAL.
- COORDINATE ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTOR. CONFIRM CIRCUIT AMPACITY, OVERCURRENT PROTECTION, SERVICE DISCONNECTS AND GROUNDING PER NAMEPLATE DATA FOR ALL EQUIPMENT.
- GAS PIPING INSTALLED AND CONNECTED TO EQUIPMENT AS SPECIFIED IN MANUFACTURERS' INSTALLATION GUIDE. GAS LEAK DETECTION HAS TRAILN TO ENSURE PERFORMANCE. INACCESSIBLE LOCATIONS SHALL NOT HAVE UNIONS, FITTINGS OR RUNNING THREADS. SHUTOFF VALVES SHALL BE UPSTREAM OF EACH EQUIPMENT GAS TRAILN.
- CONTRACTOR SHALL INSTALL ALL FUEL GAS PIPING & FLUE GAS VENTS PER STATE BUILDING CODE 301.6. ALL FLUES SHALL MEET NFPA code REQUIREMENTS AND MANUFACTURER'S INSTALLATION GUIDE.
- MAINTAIN A MINIMUM OF 10' SEPARATION BETWEEN OUTDOOR AIR INTAKES AND EXHAUSTS.
- ALL PIPE, DUCT, GAS VENTS, ETC. SHALL BE SLEEVED THROUGH ALL PENETRATIONS AND SEALED
- ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN MANNER/ORIENTATION THAT ALLOWS ACCESS TO ACCESS TO ACCESS TO MAINTENANCE AND SERVICABILITY. COORDINATE ALL PENETRATIONS WITH STRUCTURAL BLOCKING AND DRAFTSTOPPING.
- WHERE EQUIPMENT IS NOTED "BY OWNER," THE ITEM WILL BE SELECTED AND DELIVERED TO THE JOB SITE BY THE OWNER TO BE INSTALLED BY THE CONTRACTOR OR SUBCONTRACTOR.
- CONTRACTORS SHALL VERIFY CFM & ELECTRICAL DATA FOR OWNER PROVIDED EQUIPMENT MATCHES EQUIPMENT TAG PRIOR TO SIZING AND INSTALLATION.
- MECHANICAL CONTRACTOR SHALL ADJUST LOCATIONS OF MECHANICAL EQUIPMENT INSIDE EACH ROOM TO FIT WITH STRUCTURAL GRID THAT EQUIPMENT WILL BE MOUNTED FROM.
- DUCTWORK TYPE INSTALLED IN ALL FLOOR ROOMS SHALL BE FABRIC DUCT STYLE. DUCTWORK FOR ALL OTHER SPACES SHALL BE FABRIC DUCT OR MAY BE CONVERTED TO HARD DUCT AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING HVAC EQUIPMENT RTU's AND ASSOCIATED DUCTWORK IS EXISTING TO REMAIN.
- CONTRACTOR SHALL REUSE EXISTING PADS WHERE PADS ARE SUFFICIENT TO SUPPORT EQUIPMENT.

	NEW DUCTWORK
	ROUND DUCT
	TURNING VANES
	MANUAL BALANCING DAMPER
	NEW SUPPLY DUCT
	NEW RETURN DUCT
	FLEX DUCT
	CONTROL WIRING
	SUPPLY DIFFUSER
	RETURN DIFFUSER
	EXHAUST GRILLE
	OUTSIDE AIR
	AIR HANDLING UNIT - X
	DEHUMIDIFICATION UNIT - X
	KITCHEN EXHAUST FAN
	KITCHEN HOOD
	MINI-SPLIT
	MINI-SPLIT CONDENSING UNIT
	TEMP. SENSOR / UNIT CONTROLLER

2. PLACE SECURELY ON PAD, PLUMB AND LEVEL, ADHERING TO ALL MANUFACTURERS REQUIREMENTS AND RECOMMENDED SPACING. VERIFY PLACEMENT WITH ARCHITECT/OWNER. CONCRETE PAD SHALL EXTEND AT LEAST 6" WIDER THAN EQUIPMENT ON ALL SIDES.
3. DUCTWORK ON EXTERIOR OF BUILDING TO BE COORDINATED WITH ARCHITECTURAL SHEETS. ALL EXPOSED DUCTWORK TO BE INSULATED WITH ALUMINUM JACKET. SEE SPECIFICATIONS FOR APPROVED MATERIALS.
3. DUCTWORK ON EXTERIOR SHALL BE INSTALLED AT A MINIMUM OF 14" ABOVE GRADE. AREA BENEATH EXTERIOR DUCTWORK SHALL HAVE TURF REMOVED, WEED BLOCKER APPLIED AND HAVE GRAVEL SPREAD.
4. COORDINATE DUCTWORK PENETRATIONS WITH ARCHITECTURAL. SUPPLY DUCT SHALL RUN VERTICAL ON EXTERIOR OF BUILDING AND PENETRATE AS HIGH AS POSSIBLE, AVOIDING BUILDING STEEL AND EXISTING SPRINKLER PIPING. COORDINATE BEFORE MAKING PENETRATIONS.
5. COORDINATE DUCTWORK PENETRATIONS WITH ARCHITECTURAL. RETURN DUCT SHALL PENETRATE LOW TO THE GROUND, MAINTAINING CLEARANCES, AND IMMEDIATELY CONNECT TO SIDEWALL RETURN GRILLE. APPROX. 18" AFF.
6. COORDINATE DUCTWORK PENETRATIONS WITH ARCHITECTURAL. RETURN DUCT SHALL RUN VERTICAL ON EXTERIOR OF BUILDING AND PENETRATE AS HIGH AS POSSIBLE, APPROX. 14" AFF, AVOIDING BUILDING STEEL AND EXISTING SPRINKLER PIPING. RETURN DUCT SHALL ENTER BUILDING AS RECTANGULAR AND CONTINUE AS RECTANGULAR OR TRANSITION TO ROUND DUCT.
7. SUPPLY DUCT SHALL ENTER BUILDING AS RECTANGULAR DUCT BEFORE TRANSITIONING TO FABRIC DUCT. FABRIC DUCT SHALL INCLUDE INTERNAL HOOP SUSPENSION SYSTEM. COORDINATE HANGING HEIGHT WITH LIGHTING AND DEHUMIDIFIERS.
8. PLACE THERMOSTAT IN CLEAR PLASTIC LOCKABLE COVER KEYSIMILAR. VERIFY FINAL LOCATION WITH ARCHITECT/OWNER PRIOR TO PLACEMENT.
9. COORDINATE EXACT LOCATION OF MECHANICAL EQUIPMENT WITH ARCHITECT AND ELECTRICAL. CONTRACTOR SHALL INSTALL EQUIPMENT PER MANUFACTURERS REQUIREMENTS AND RECOMMENDED SPACING FOR MAINTENANCE AND SERVICEABILITY.
10. DEHUMIDIFIERS SHALL BE INSTALLED AND HUNG ABOVE LIGHTS. COORDINATE WITH LIGHTING AND DUCTWORK. CONDENSATE SHALL BE ROUTED TO TRENCH DRAINS. COORDINATE ROUTING OF CONDENSATE PIPING WITH OTHER TRADES.

1. EACH PACKAGED HVAC UNIT SERVING SPACES WHERE AGRICULTURAL PRODUCTS ARE PRESENT SHALL INCLUDE A COMBINATION OF A STANDARD MEDIA PRE-FILTER AS WELL AS AN ACTIVATED CHARCOAL/CARBON MEDIA POST-FILTER OF A MINIMUM 1" THICK PLATED MEDIA FILTER SECTORS.
2. THE COMBINED THICKNESS OF THE STANDARD MEDIA AND CARBON-MEDIA FILTERS SHALL FULLY USE THE MAXIMUM AVAILABLE FILTER THICKNESS OF THE UNIT FILTER FRAMING DEPTH, i.e. WHERE AHU HAS A 4" OVERALL DEPTH OF FRAMING AVAILABLE FOR FILTERS, AND STANDARD MEDIA FILTER CAN ACHIEVE THE REQUIRED MERV-12 WITH 2" THICK MEDIA, THEN 2" THICK CARBON-MEDIA FILTER SHALL BE STACKED WITH IT AND INSTALLED DOWNSTREAM FOR A COMBINATION OF TOTAL 4" DEPTH.
"A 3"-THICK STANDARD MEDIA FILTER WITH A 1"-THICK CARBON MEDIA WOULD ALSO BE ACCEPTABLE.
3. ANY ADDITIONAL "AIR SCRUBBER" TYPE EQUIPMENT PROVIDED SEPARATELY BY THE MANUFACTORY DESIGNATED ODOR MITIGATION FILTERS INSTALLED TO MEET FACTORY LISTED TYPE AND MEDIA AS NOTED ON SUCH INSTALLATION INSTRUCTIONS. ALL ODOR MITIGATION EQUIPMENT SHALL BE SELECTED AND INSTALLED TO MEET NEW JERSEY AND APPLICABLE FEDERAL REGULATIONS AND CODES ADOPTED AT PROJECT LOCATION.

ATH NJ HEADHOUSE
COUNTRY ROADS REALTY, LLC

730 Buck Rd, Monroeville, NJ, 08343

Document Phase:
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MECHANICAL
DETAILS & NOTES

M0.1

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ATH NJ HEADHOUSE
COUNTRY ROADS REALTY, LLC

730 Buck Rd, Monroeville, NJ, 08343

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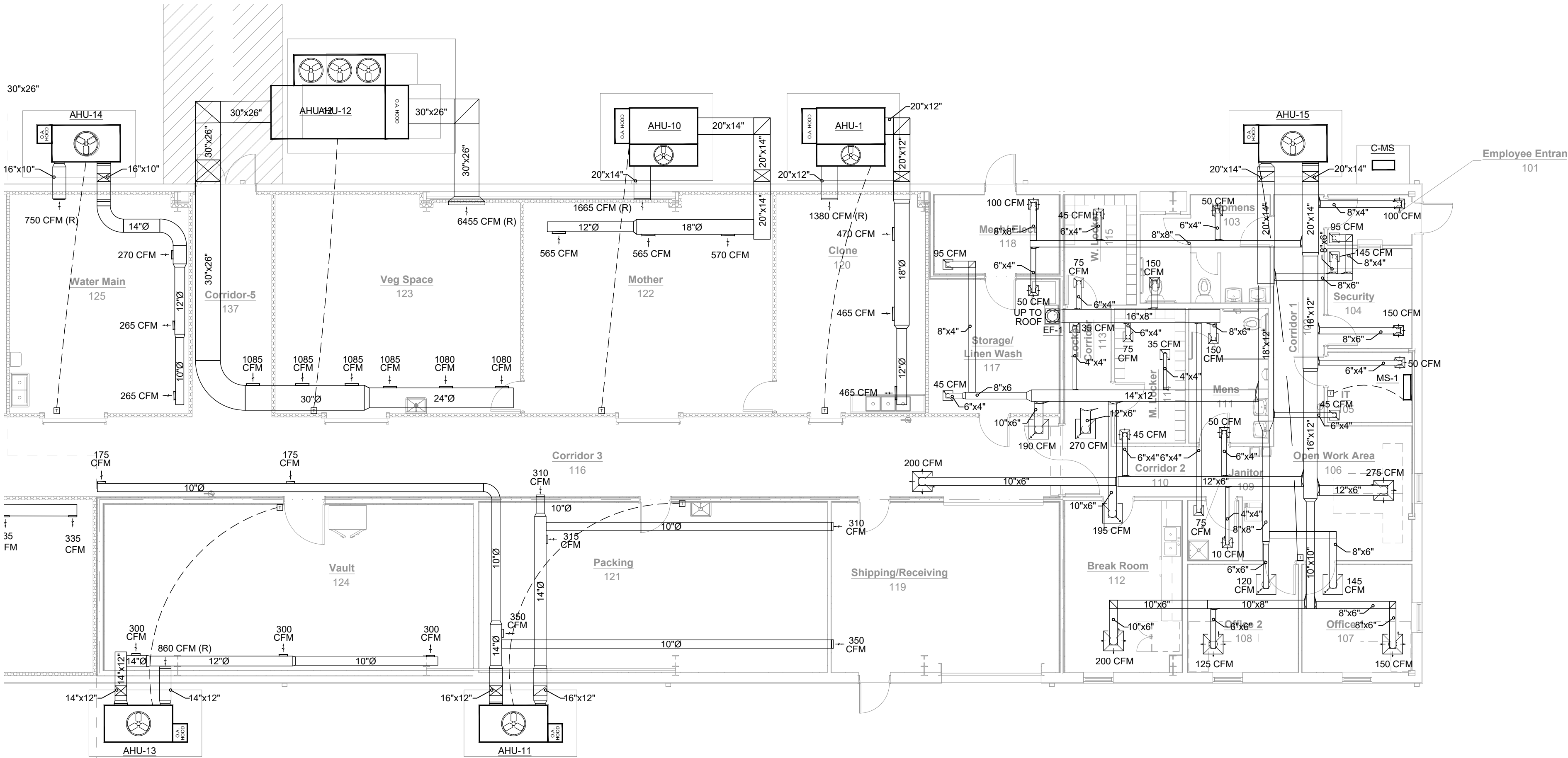
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MECHANICAL PLAN

M1.1

MECHANICAL PLAN- AREA A
SCALE 1/8" = 1'-0"



MECHANICAL PLAN- AREA B
SCALE 1/8" = 1'-0"

